#### BL-09-00002 Granite Creek Ranches

Kittitas County Community Development Services has issued final approval for the above Boundary Line Adjustment/Segregation Application. Click the link above to open the Master File on line. The signed original final approval letter may be found in your mailbox at CDS, please feel free to contact me if you have additional concerns or questions.

I'll be here...

Jeff Watson Planner I

Kittitas County Community Development Services 411 N. Ruby Street, Suite 2 Ellensburg, WA 98926 jeff.watson@co.kittitas.wa.us P: 509.933.8274 F: 509.962.7682



"Building Partnerships-Building Communities"

All e-mail sent to this address will be received by the Kittitas County e-mail system and may be subject to Public Disclosure under RCW Chapter 42.56 and is subject to archiving and review by someone other than the recipient.

BL-09-00002 Granite Creek Ranches

Community Development Services has issued final approval for the above Boundary Line Adjustment Application. Please review this submission via the hyperlink above or through the established link under the attachments tab in EDEN for finalization.

Thank You,

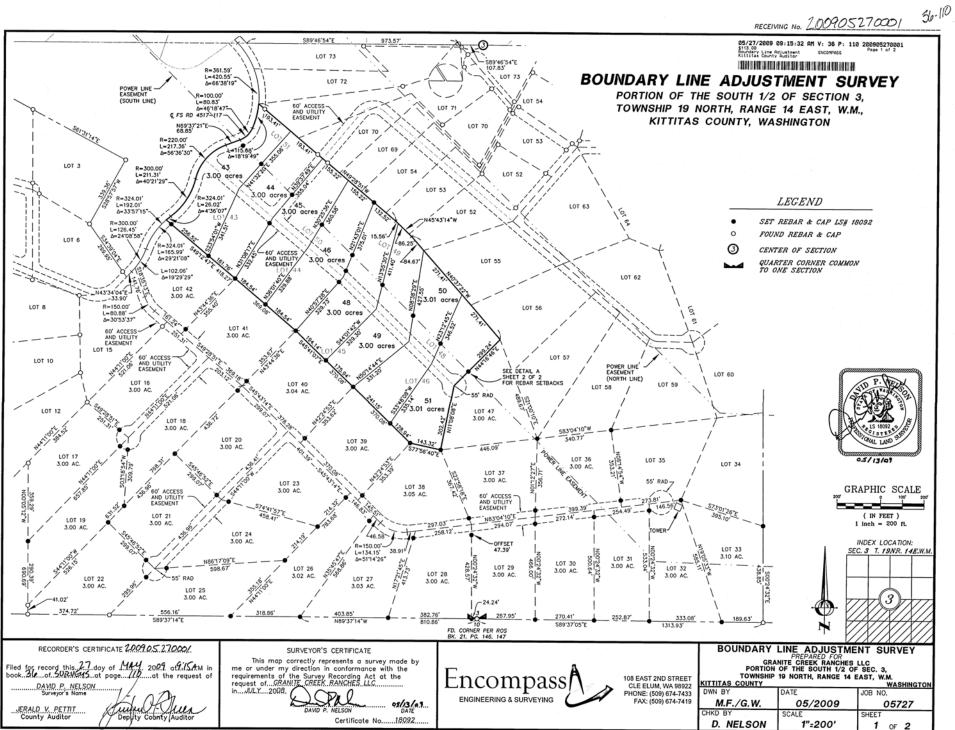
Jeff Watson Planner I

Kittitas County Community Development Services 411 N. Ruby Street, Suite 2 Ellensburg, WA 98926 jeff.watson@co.kittitas.wa.us P: 509.933.8274 F: 509.962.7682



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#### **BOUNDARY LINE ADJUSTMENT SURVEY**

PORTION OF THE SOUTH 1/2 OF SECTION 3. TOWNSHIP 19 NORTH, RANGE 14 EAST, W.M., KITTITAS COUNTY, WASHINGTON

R=130.00

44

DETAIL A N.T.S.

REBAR SETBACK DISTANCES

45

46

48

49

50

POWER LINE EASEMENT

(SOUTH LINE)

43

L=101.35' Δ=44'40'14"

R=391.59'

L=104.24

A=15'15'08"

05/27/2009 09:15:32 AM V: 36 P: 111 200905270001 5113.00 Boundary Line Adjustment Kittitas County Auditor Kittitas County Auditor 



1. THE PURPOSE OF THIS SURVEY IS TO BOUNDARY LINE ADJUST LOTS 43, 44, 45, 46, 48, 49, 50 AND 51 OF SURVEY BOOK 31, PAGES 231 THROUGH 235 RECORDED UNDER AUDITOR'S FILE NUMBER 200511010073 TO THE CONFIGURATION SHOWN HEREON AND TO STAKE CORNERS AS SHOWN ON THIS SURVEY.

THIS SURVEY WAS PERFORMED USING A NIKON DTM-522 TOTAL STATION AND A TRIMBLE S6 TOTAL STATION. THE CONTROLLING MONUMENTS AND PROPERTY CORNERS SHOWN HEREON WERE LOCATED, STAKED AND CHECKED FROM A CLOSED FIELD TRAVERSE IN EXCESS OF 11:0000 LINERA CLOSURE AFTER AZMUTH ADJUSTMENT.

3. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD OR OTHERWISE.

4. FOR SECTION SUBDIVISION, CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, SEE:

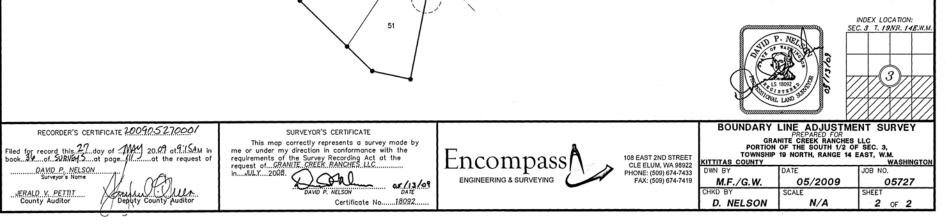
BOOK 21 OF SURVEYS AT PAGES 146 & 147, UNDER AUDITOR'S FILE NO. 587422; BOOK 24 OF SURVEYS AT PAGE 238, UNDER AUDITOR'S FILE NO. 20002180016; BOOK 28 OF SURVEYS AT PAGES 116 & 117, UNDER AUDITOR'S FILE NO. 200212050006; BOOK 31 OF SURVEYS AT PACES 116 & 117, UNDER AUDITOR'S TILE NO. 2002/2000000; BOOK 31 OF SURVEYS AT PACES 231 THROUGH 235, UNDER AUDITOR'S TILE NO. 2005/1010073 AND BOOK 35 OF SURVEYS AT PACES 232 & 2.23, UNDER AUDITOR'S TILE NO. 2009/1050031, RECORDS OF KITITAS COUNTY, STATE OF WASHINGTON, AND THE SURVEYS REFERENCED THEREON. THE BASIS OF BEARINGS SHOWN HEREON IS THE SAME AS SAME SURVEY OF RECORD.

#### EXISTING LEGAL DESCRIPTION:

LOTS 43, 44, 45, 46, 48, 49, 50 AND 51 OF SURVEY BOOK 31, PAGES 231 THROUGH 235 RECORDED UNDER AUDITOR'S FILE NUMBER 200511010073, RECORDS OF KITTITAS COUNTY, STATE OF WASHINGTON. LOCATED IN SECTION 3, TOWNSHIP 19 NORTH, RANGE 14 EAST, W.M., KITTITAS COUNTY, STATE OF WASHINGTON.

> NOTE: NOTE: THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRICE TO STARTING CONSTRUCTION,

AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES. Call Before You DIg 1-800-553-4344



ŝ 27.



### KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

"Building Partnerships - Building Communities"

411 N. Ruby St., Suite 2, Ellensburg, WA 98926 CDS@CO.KITTITAS.WA.US Office (509) 962-7506 Fax (509) 962-7682

March 18, 2009

Mr. Frank Ragland Nelson Siding LLC PO Box 208 Thorp, WA 98946

RE: Boundary Line Adjustment application BL-09-00002

Dear Sirs:

Kittitas County Community Development Services has reviewed and processed the subject Boundary Line Adjustment application and hereby grants **FINAL APPROVAL**.

Pursuant to Kittitas County Subdivision Code Chapter 16, please refer to the attached Kittitas County Public Works Memo for complete information on Kittitas County Road Standards.

Your request has been routed to the Kittitas County Assessor's office. If you have any questions, please contact me at (509) 962-7506.

Sincerely,

Allison Kimball Planner II

- c: Encompass Engineering
- encl: Approved BLA application Public Works comment memo

#### KITTITAS COUNTY TREASURER'S OFFICE Batch Receipting Edit Report Date of Run : 03/18/2009

Statement #	Parcel #	Year	Code	Paid By	Source	Taxes	Interest	Other	Under/Over	Total
2009-949831	949831	2009	3	NELSON SIDING LLC	REAL	432.27	0.00	38.12	0.00	470.39
2009-949824	949824	2009	3	NELSON SIDING LLC	REAL	547.55	0.00	38.12	0.00	585.67
2009-949825	949825	2009	3	NELSON SIDING LLC	REAL	547.55	0.00	38.12	0.00	585.67
2009-949826	949826	2009	3	NELSON SIDING LLC	REAL	547.55	0.00	38.12	0.00	585.67
2009-949827	949827	2009	3	NELSON SIDING LLC	REAL	547.55	0.00	38.12	0.00	585.67
2009-949829	949829	2009	3	NELSON SIDING LLC	REAL	433.13	0.00	38.12	0.00	471.25
2009-949830	949830	2009	3	NELSON SIDING LLC	REAL	432.27	0.00	38.12	0.00	470.39
2009-18308	18308	2009	3	NELSON SIDING LLC	REAL	432.27	0.00	38.12	0.00	470.39
				Parcel Count : 8	Batch Totals :	3,920.14	0.00	304.96	0.00	4,225.10



# **KITTITAS COUNTY** DEPARTMENT OF PUBLIC WORKS

#### MEMORANDUM

TO:	Allison Kimball, Community Development Services			
FROM:	Christina Wollman, Planner ။ပို့ပ			
DATE:	January 29, 2009			
SUBJECT:	Granite Creek BL-09-00002. 19-14-03000-0039, -0082-, -0083, -0084, -0085, -0087,			
	-0088, -0089.			

The Public Works Department has reviewed the Request for Boundary Line Adjustment and finds that it meets current Kittitas County Road Standards.

#### Our department recommends final approval with the following conditions:

- a. An approved access permit shall be required from the Kittitas County Department of Public Works prior to creating any new driveway access or performing any work within the county road right of way.
- b. Maintenance of driveway approaches shall be the responsibility of the owner whose property they serve. The County will not maintain accesses.
- c. Any further subdivision or lots to be served by proposed access may result in further access requirements. See Kittitas County Road Standards.
- d. Evidence of existing access and/or evidence of access to be created should be confirmed prior to sale of property.
- e. Access is not guaranteed to any existing or created parcel on this application.

Please let me know if you have any questions or need further information.

Page 1 of 1



### KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

"Building Partnerships - Building Communities"

411 N. Ruby St., Suite 2, Ellensburg, WA 98926 CDS@CO.KITTITAS.WA.US Office (509) 962-7506 Fax (509) 962-7682

### MEMORANDUM

DATE: January 29, 2009

- TO: Christina Wollman, Public Works
- FROM: Allison Kimball, Staff Planner
- RE: Granite Creek Ranches LLC/Nelson Siding LLC Boundary Line Adjustment application (BLA-09-00002)

The subject Boundary Line Adjustment application materials are attached for your review. Please let me know if you have any comments.

Thank you.



## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

"Building Partnerships - Building Communities"

411 N. Ruby St., Suite 2, Ellensburg, WA 98926 CDS@CO.KITTITAS.WA.US Office (509) 962-7506 Fax (509) 962-7682

January 28, 2009

Bonneville Power Administration Lesli Olson 2410 E Hawthorne Rd. Mead, WA 99021

> RE: Granite Creek Ranches LLC/Nelson Siding LLC Boundary Line Adjustment application (BLA-09-00002)

Dear Lesli:

Enclosed please find the subject Boundary Line Adjustment application materials for your review and comment. Please call me at (509) 962-7506 if you have any questions or if additional information is required.

Sincerely,

2. Jul

Allison Kimball Planner II

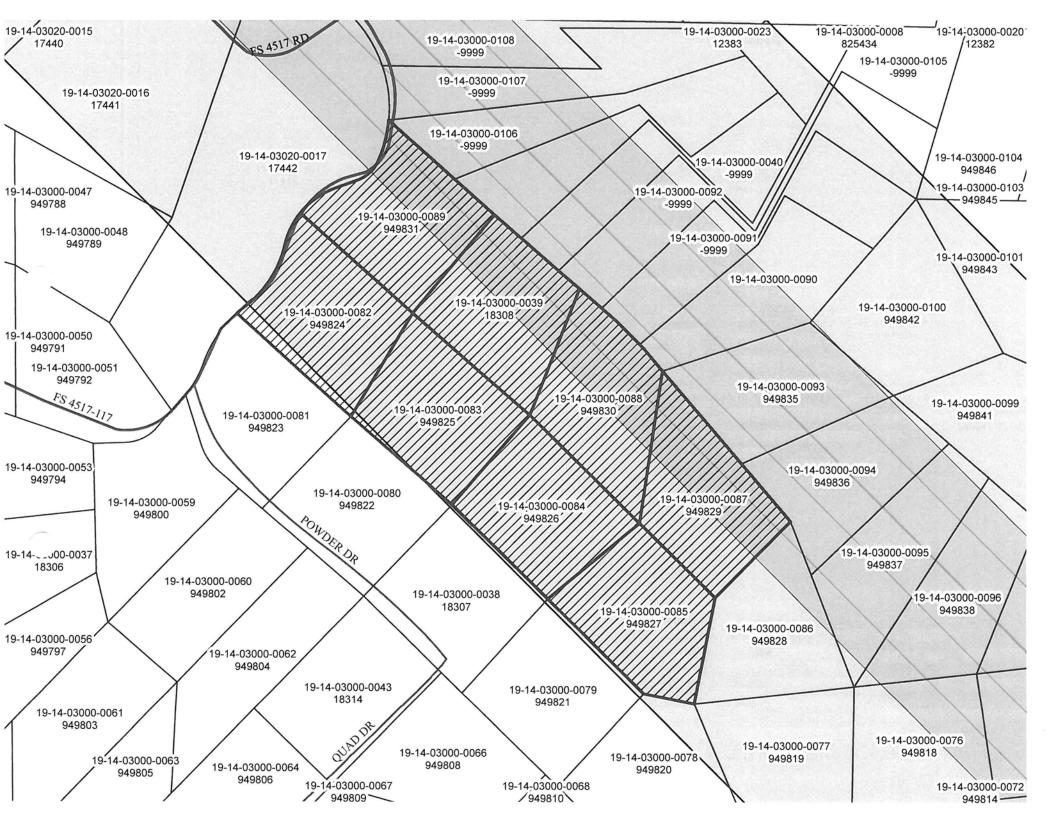
encl

### Preliminary Submittal Requirements: Granite Creek Ranches BL-09-00002

Date Received: 1/16/2009 Review Date: 1/21/2009 Tax Parcel: 949824 (19-14-03000-0082), 949825 (19-14-03000-0083), 949826 (19-14-03000-0084), 949827 (19-14-03000-0085), 949829 (19-14-03000-0087), 18308 (19-14-03000-0039), 949830 (19-14-03000-0088), 949831 (19-14-03000-0089) File Number: BL-09-00002 Planner Jeff Watson

Y N
Second page of application turned in (landowner contact info page)
Address list of all landowners within 300' of the site's tax parcel
Large Preliminary Plat Maps (bluelines)
8.5x11.5" Copy of plat map
Certificate of Title
Computer Closures
Parcel History (required for CA & Ag 20 if less than twenty acres)

Subdivision conforms to the county comprehensive plan and all zoning regulations in effect at the time the preliminary plat is submitted.



-09-00002

Treasurer's Office

\$575 Administrative Segregation per page \$50 Combination \$50.00 Mortgage Purposes Only Segregation

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FEES:

Assessor's Office

\$190 Major Boundary Line Adjustment per page \$95 Minor Boundary Line Adjustment per page

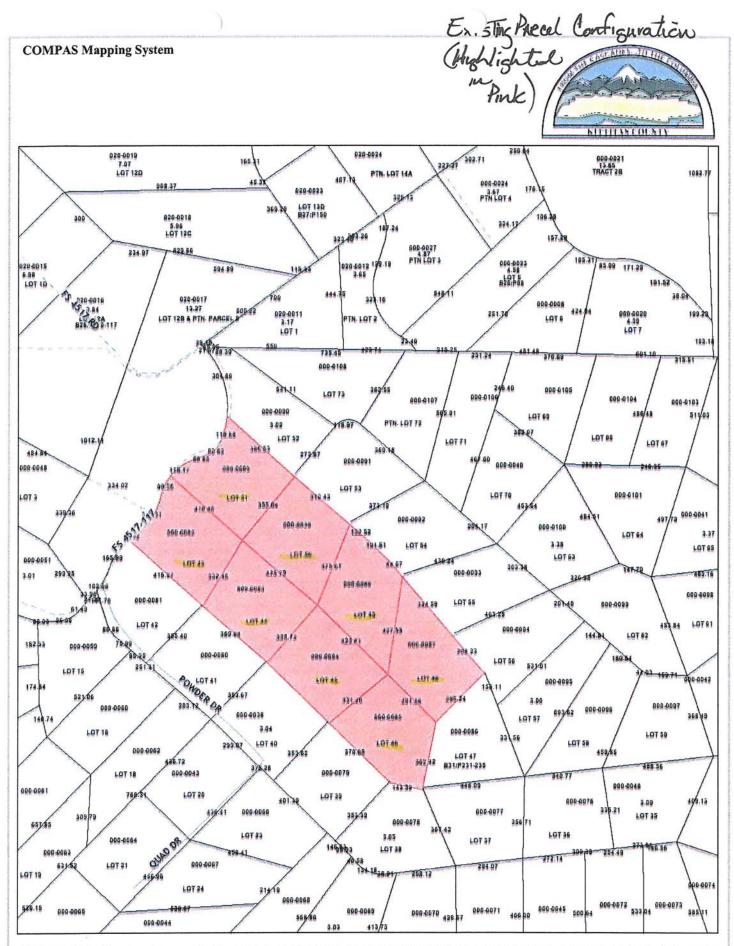
# KITTITAS COUNTY

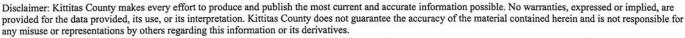
#### REQUEST FOR PARCEL SEGREGATION, PARCEL COMBINATION AND BOUNDARY LINE ADJUSTMENT

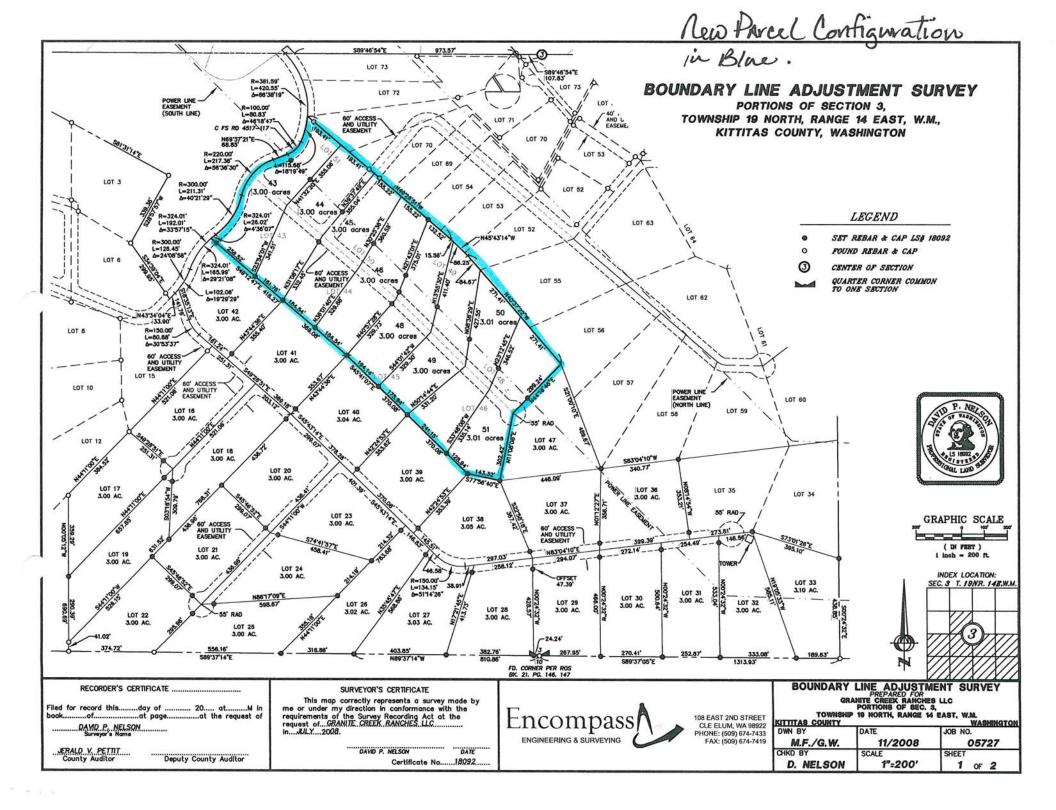
**Community Development Services** 

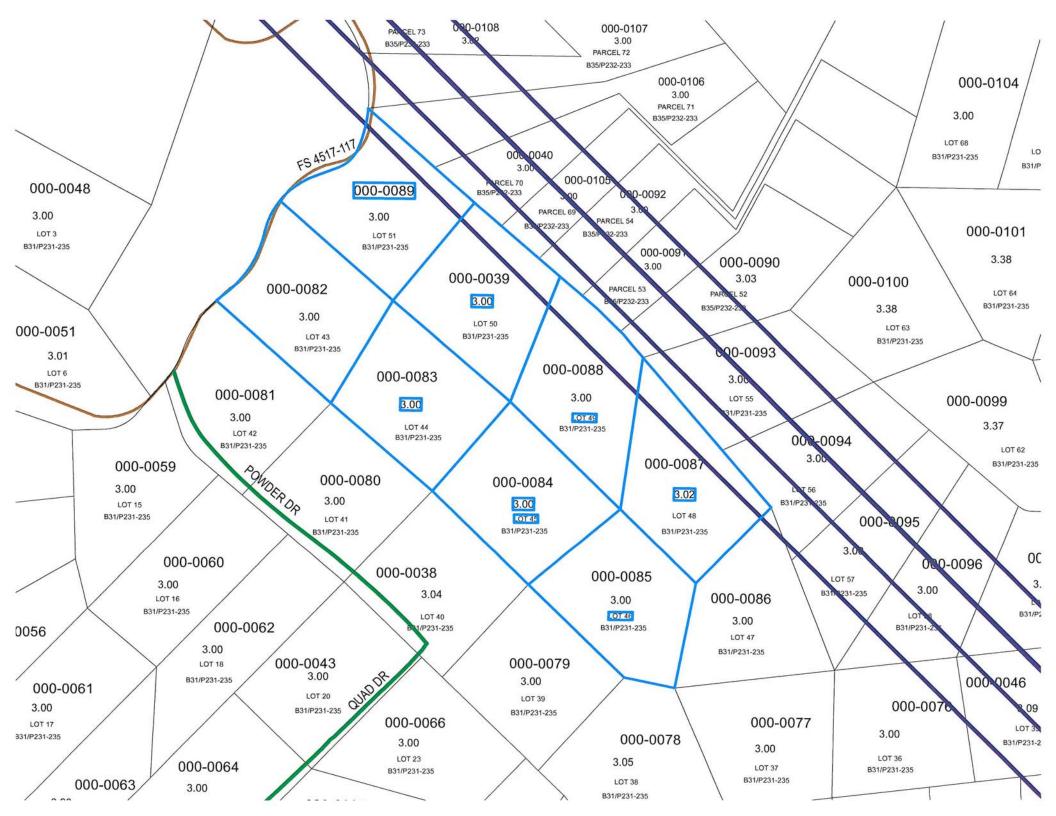
Kittitas County Courthouse 205 W 5 <sup>th</sup> , Suite 101	Kittitas County Permit Center 411 N Ruby, Suite 2	Kittitas County Courthouse 205 W 5 <sup>th</sup> , Suite 102				
Ellensburg, WA 98926	Ellensburg, WA 98926	Ellensburg, WA 98926				
THIS FORM MUST BE SIGNED BY COMMUNITY DEVELOPMENT SERVICES AND THE TREASURER'S OFFICE PRIOR TO SUBMITTAL TO THE ASSESSOR'S OFFICE.						
Netson Siding LLC Granite Creek	LC <u>PO Box 208</u> Mailing Address	RECEIVED				
509-607-0617 Contact Phone	Thorp, WA 98946 City, State, ZIP	JAN 1 6 2009				
Zoning Classification Rural-3		Kittitas County				
Original Parcel Number(s) & Acreage (1 parcel number per line)		CDS New Acreage (Survey Vol, Pg)				
<u>19-14-03000-0089 3</u>	SEGREGATED INTO LOTS	0089				
<u>19-14-03000-0082 3</u>	"SEGREGATED" FOR MORTGAGE PURPOSES ONLY	0082				
<u>19-14-03000-0083 3</u>		0083				
<u>19-14-03000-0084 3</u>	ELIMINATE (SEGREGATE) MORTGAGE PURPOSE	0084				
<u>19-14-03000-0085 3</u>		0085				
19-14-03000-0087 3.02		0087				
<u>19-14-03000-0088 3</u> <u>19-14-03000-0039 3</u>	COMBINED AT OWNERS REQUEST	<u>0088</u> 0039				
Applicant is: X Owner	PurchaserLessee	Other				
Jan Hinlagland 7	Managerie Members Applicant Signat	ure (if different from owner)				
	Treasurer's Office Review					
Tax Status: <u>2009 pd</u> By: <u>Under Ainit</u> Date: <u>3-18-09</u> Kittitas County Treasurer's Office						
Community Development Services Review     This segregation meets the requirements for observance of intervening ownership.     This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04 Sec)     This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04.020 (5) BLA)     Deed Recording Vol Page Date **Survey Required: Yes No     This "segregation" is for Mortgage Purposes Only/Forest Improvement Site. "Segregated" lot shall not be     considered a separate salable lot and must go through the applicable subdivision process in order to make a     separately salable lot. (Page 2 required)						
Card #:	_ Parcel Creation Date: _					
Last Split Date:	_ Current Zoning District:					
Review Date: 03-16-09	By: Minhally					
**Survey Approved:	By: Muh	mball				

Notice: Kittitas County does not guarantee a buildable site, legal access, available water or septic areas, for parcels receiving approval for a Boundary Line Adjustment or Segregation. Please allow 3-4 weeks for processing. Updated 1/1/08











KITTITAS COUNTY PERMIT CENTER 411 N. RUBY STREET, ELLENSBURG, WA 98926

RECEIPT NO.: 00003999

COMMUNITY DEVELOPMENT SERVICES (509) 962-7506			PUBLIC HEALTH DEPARTMENT (509) 962-7698	DEPARTMENT OF PUBLIC WORKS (509) 962-7523		
	001000					
Account name:	001989		Date	: 1/16/2009		
Applicant:	GRANITE CREEK RANCHES LLC					
Туре:	check ;	# 1349				
Permit Number		Fee Descri	ption	Amount		
BL-09-00002		BOUNDAR	Y LINE ADJUSTMENT MAJOR	190.00		
			Total:	190.00		